GENERAL NOTES

PRE-CONSTRUCTION MEETING AND CONSTRUCTION COMMENCEMENT:

- All construction methods and materials shall conform to the Construction Standards and Specifications of Roanoke County, the Western Virginia Water Authority, and the Virginia Department of Transportation.
- 2. Stormwater Management Agreements with an attached 8 1/2" x 11" or 8 1/2" x 14" plat must be approved and recorded prior to the pre-construction meeting.
- Once all required items are submitted to the County of Roanoke, the developer must contact the Development Review Coordinator to indicate that a pre-construction meeting needs to be scheduled. The pre-construction meeting will be scheduled with the owner/developer two (2) working days later.
- 4. All land disturbing projects that require approval of an erosion and sediment control plan, grading or clearing permit shall require that the applicant provide the name of an individual who will be responsible for land disturbing activities and that this individual hold a Responsible Land Disturber (RLD) Certificate from the Department of Environmental Quality. The Responsible Land Disturber can be anyone from the Project team that is certified by the Commonwealth of Virginia to be in charge of carrying out the land disturbing activity for the project.
- 5. It is the responsibility of the owner/developer to notify the certified Responsible Land Disturber and the Utility Contractor to attend the pre-construction meeting.
- The Development Review Coordinator will schedule the pre-construction meeting with the County Review Engineer, the County Inspector, and the Western Virginia Water Authority and the Town of Vinton Public Works Department if applicable.
- 7. An approved set of plans, Storm Water Pollution Prevention Plan (SWPPP), VSMP coverage letter, and all permits must be available at the construction site at all times.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- 9. The project engineer will inform the owner/developer verbally and in writing of the County's obligation to perform inspections on site. Everyone in the meeting will be required to sign a pre-construction checklist indicating their knowledge of Roanoke County's obligation to perform inspections on site.
- 10. The Erosion Control Permit or Combined Erosion Control & VSMP Permit is given to the developer at this pre-construction meeting.
- 11. Notify the County of Roanoke prior to beginning installation of ESC measures. The County will inspect initial installations to ensure compliance with approved plan prior to start of grading. The developer SHALL contact the project inspector 24 hours before beginning any grading or construction on the property.
- 12. County inspectors must inspect storm drain / stormwater management / BMP installations during the process of installation. Please contact the site inspector 24 hours in advance
- 13. All work shall be subject to inspection by Roanoke County, the Western Virginia Water Authority and the Virginia Department of Transportation Inspectors.
- 14. Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001 or VA 811.
- 15. The 100 year Floodway shall be staked prior to any construction.
- 16. Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer at all times of construction.
- 17. The Department of Community Development shall be notified when a spring is encountered during construction.
- 18. Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site.
- 19. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets or rights of ways. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- Plan approval in no way relieves the developer or contractors of the responsibilities contained within the erosion and sediment control or stormwater management policies.
- 21. Field construction shall honor proposed drainage divides as shown on plans.
- Field corrections shall be approved by the Roanoke County Engineering Division and/or the Western Virginia Water Authority and the Professional of Record, prior to such construction.
- 23. The developer or contractor shall supply the County and the Western Virginia Water Authority with correct As-Built plans before final acceptance.

VIRGINIA DEPARTMENT OF TRANSPORTATION:

- 24. Plan approval by Roanoke County does not guarantee issuance of any permits by the Virginia Department of Transportation.
- 25. A permit must be obtained from the Virginia Department of Transportation, Salem Residency Office prior to construction in the highway right-of-way.
- 26. The preliminary pavement designs should be based on a predicted sub-grade CBR value of 7.0 and with a Resiliency Factor (RF) of 2.0 as shown in Appendix I of the 2000 Virginia Department of Transportation Pavement Design Guide for Subdivision and Secondary Roads. The sub-grade soil is to be tested by an independent laboratory and the results submitted to the Virginia Department of Transportation prior to base construction. Should the sub-grade CBR value and/or the RF value be less than the predicted values, additional base material will be required in accordance with Departmental specifications. Refer to the same manual as the number and locations of the required soil samples to be tested. All pavement designs shall be submitted to the Department for review and approval. The sub-grade shall be approved by the Virginia Department of Transportation prior to placement of the base. Base shall be approved by the Virginia Department of Transportation for depth, template, and compaction before the surface is applied.
- 27. Standard guardrail with safety end sections may be required on fills or in areas where hazards exist as deemed necessary. After completion of rough grading operations, the County Engineer and Virginia Department of Transportation shall be contacted to schedule a field review. Where guard rail is warranted, the standard shoulder width shall be provided and the guard rail shall be installed in accordance with the 2001 VDOT Road and Bridge Standards as part of this development.
- 28. Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.
- 29. All traffic devices shall be in accordance with current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- 30. All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.

See Sheet _____ for Stormwater Site Statistics Table.
See Sheet _____ for New BMP Information Table.

The Project Engineer shall provide electronic copies of the approved plans to the Development Review Coordinator within 5 working days of the pre-construction meeting.

meeting.

The notes on this sheet shall not be modified.



COUNTY OF ROANOKE, VA

NAME OF DEVELOPMENT: LIDL GROCERY HOLLINS

AM AWARE OF THE SITE DESIGN REQUIREMENTS IMPOSED BY THIS SITE DEVELOPMENT PLAN AND DITHER APPLICABLE ROANOKE COUNTY CODES. HEREBY CERTIFY THAT I AGREE TO COMPLY WITH THESE REQUIREMENTS AND THE THIRTY (30) POINTS SHOWN ON THIS COVER SHEET UNLESS MODIFIED IN ACCORDANCE WITH LOCAL LAW.

OWNER: ESTATE PARTNERS LLC, 1024 STONEGATE DRIVE, SALEM, VA 24153
PRECISION INVESTMENT CORPORATION, 1723 SEIBEL DR. ROANOKE, VA, 24012

DEVELOPER: LIDL US OPERATIONS, LLC, 3500 SOUTH CLARK STREET, ARLINGTON, VIRGINIA 22202 TEL: 703-559-1997

ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC, 1215 E FORT AVENUE, SUITE 304, BALTIMORE, MD 21230 TEL:443-743-3470

TAX MAP NO: 027.10-07-05.00-0000 AND 027.10-07-02.00-0000

WATER NOTES

All water facilities shall be constructed according to the Western Virginia Regional Design and Construction Standards (Latest Edition).

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering valve vaults after paving and adjustment to final grade if necessary.

All existing utilities may not be shown in their exact location.
The contractor shall comply with the (State Water Works Regulations, Section 12VAC5-590-1150, where lines cross.

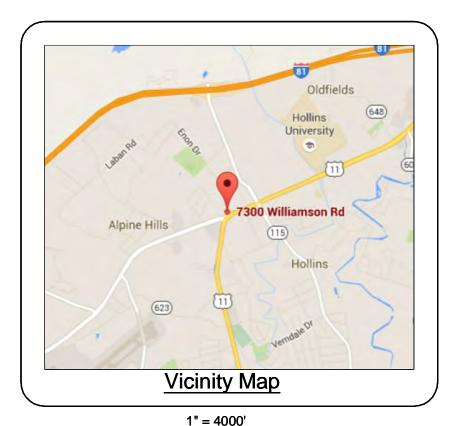
All trenches in existing or future highway right-of-ways shall be compacted according to Virginia Department of Transportation standards

Lines shall be staked prior to construction.

Water main shall be minimum Class 350 Ductile Iron in accordance to AWWA C151 or DR-14 PVC in accordance with AWWA C-900.

Ductile Iron Pipe in accordance with the Western Virginia Regional Design and Construction Standards shall be required for all pipe with a working pressure equal to or greater than 100 p.s.i.

Western Virginia Water Authority
Availability letter number: TO BE PROVIDED



LEGEND

Proposed Limits of Clearing ——

Proposed Storm Sewer

SEWER NOTES

All sanitary sewer facilities shall be installed according to the Western Virginia Regional Design and Construction Standards. (Latest Edition).

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering all manholes after

Contractor shall be responsible for locating and uncovering all manholes after paving. Manhole tops shall be adjusted to grade if necessary.

All existing utilities may not be shown in their exact location. The contractor shall

comply with (State Water Works Regulations, Section 12VAC5-590-1150, where lines cross.)

All trenches in existing or future rights-of-way shall be compacted according to

Virginia Department of Transportation standards.

Lines shall be staked prior to construction.

PRIVATE UTILITIES

Underground utilities installed on private property or in private utility easements and building related storm drains shall be designed and installed per the current edition of the Virginia Uniform Statewide Building Code. Design and installation requirements issued by the Western Virginia Water Authority that meet or exceed the USBC requirements are acceptable for private utilities. All private utilities are to be permitted through and inspected by the Roanoke County Inspections Office. Vaults, valves and other devices installed by or under the control of the Western Virginia Water Authority may not substituted for the code required devices.

	Sheet Index
Sheet Number	Sheet Title
C-000	COVER SHEET
C-010	GENERAL NOTES
C-020	ALTA SURVEY
C-100	DEMOLITION PLAN
C-110	EROSION AND SEDIMENT CONTROL PHASE I
C-120	EROSION AND SEDIMENT CONTROL PHASE II
C-130	EROSION AND SEDIMENT CONTROL PHASE III
C-150	EROSION & SEDIMENT CONTROL NOTES & DETAILS 1
C-151	EROSION & SEDIMENT CONTROL NOTES & DETAILS 2
C-152	EROSION & SEDIMENT CONTROL NOTES & DETAILS 3
C-153	EROSION & SEDIMENT CONTROL NOTES & DETAILS 4
C-200	SITE PLAN
C-201	TRUCK PLAN
C-202	SIGN AND MARKING PLAN
C-250	SITE DETAILS 1
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C-400	DRAINAGE PLAN
C-401	DRAINAGE STRUCTURE TABLE
C-402	VRRM LANDCOVER MAP
C-403	VRRM CALCULATIONS
C-404	TR-55 MAP
C-405	SOUTHWEST SITE OUTFALL HYDROGRAPHS
C-406	SOUTHEAST SITE OUTFALL HYDROGRAPHS
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C-510	SANITARY SEWER PROFILE
C-550	UTILITY DETAILS 1
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C-552	UTILITY DETAILS 3
C-600	LANDSCAPE PLAN
C-650	LANDSCAPE DETAILS
L-100	PHOTOMETRIC PLAN

SURVEY INFORMATION

Horizontal and vertical control surveys were performed in year: <u>2016</u> By: <u>JOSEPH M. MAY, HURT AND PROFFITT, INC.</u>

L-150 PHOTOMETRIC DETAILS

All vertical elevations must be referenced to the National Geodetic Vertical Datum of 1929 or 1988.

All horizontal elevations must be referenced to the North American Datum of 1927 or 1983.

Horizontal Datum: NAD83

Vertical Datum: NAVD88 GEOID MODEL 12B

Source of topographic mapping is dated MARCH 18, 2016

JOSEPH M. MAY, HURT

Boundary was performed by AND PROFFITT, INC. dated: 3/18/2016

Benchmark Information: BM: CHISELED "X" SET ON FIRE HYDRANT BOLT. ELEVATION=1081.41'

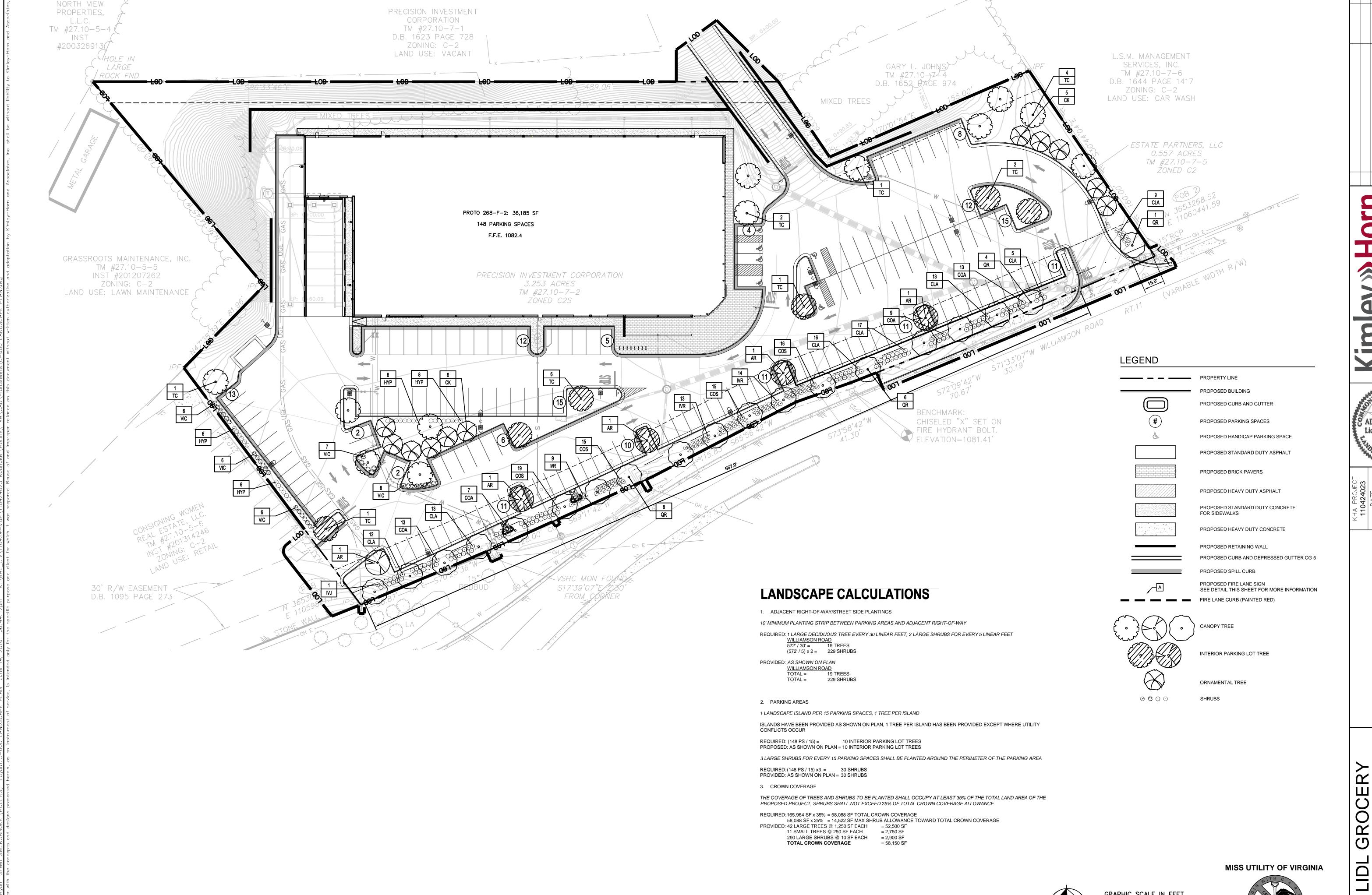
The professional seal and signature certifies the boundary survey and topographic mapping to be accurate and correct.

QUANTITY AND COST ESTIMATE							
ITEM	QUANTITY	UNIT	UNIT PRICE	COST	BONDABLE		
CLEARING AND GRUBBING	3.95	AC	\$2,000	\$7,900	\$7,900		
EXCAVATION	11,150	C.Y.	\$3	\$33,450	\$33,450		
CURB INLET DI-3	6	EA	\$4,500	\$27,000	\$27,000		
DROP INLET DI-7	4	EA	\$4,500	\$18,000	\$18,000		
NYLOPLAST INLET	3	EA	\$2,500	\$7,500	\$7,500		
MANHOLE MH-2	5	EA	\$2,800	\$14,000	\$14,000		
WANTOLE IVIN-2	J	LA	\$2,000	\$14,000	\$14,000		
12-IN. PVC/HDPE PIPE	220	LF	\$30	\$6,600	\$6,600		
15-IN. PVC/HDPE PIPE	390	LF	\$35	\$13,650	\$13,650		
42-IN. CONCRETE PIPE, CLASS III	455	LF	\$80	\$36,400	\$36,400		
CURB & GUTTER CG-2	3,247	LF	\$19	\$61,693	\$61,693		
GRAVEL BASE	300	TON	\$22	\$6,600	\$6,600		
3-IN. BIT. CONC.: TYPE SM-9.5A (STANDARD DUTY)	560	TON	\$80	\$44,800			
2-IN. BIT. CONC.: TYPE SM-9.5A (MEDIUM DUTY)	470	TON	\$80	\$37,600			
2-IN. BIT. CONC.: TYPE IM-19.0A (MEDIUM DUTY)	470	TON	\$70	\$32,900			
6-IN. BASE MATERIAL: TYPE 21A (STANDARD DUTY)	1,050	TON	\$22	\$23,100	\$23,100		
9-IN. BASE MATERIAL: TYPE 21A (STANDARD DUTY)	2,000	TON	\$22	\$44,000	\$44,000		
CONCRETE SIDEWALK	3,356	SF	\$5	\$16,780	\$16,780		
HEAVY DUTY CONCRETE	7,095	SF	\$8	\$56,760	\$56,760		
BASE MATERIAL UNDER CONCRETE: TYPE 21A	270	TON	\$22	\$5,940	\$5,940		
6" WATER LINE	418	LF	\$60	\$25,080	\$25,080		
FIRE HYDRANT ASSEMBLIES	2	EA	\$3,000	\$6,000	\$6,000		
6-IN. GATE VALVES, W/ VAULT, FRAME & COVER	3	EA	\$1,400	\$4,200	\$4,200		
DOMESTIC SERVICE	221	LF	\$20	\$4,420	\$4,420		
WATER FITTINGS	7	EA	\$400	\$2,800	\$2,800		
CONNECT TO EXISTING WITH TAPPING SLEEVE	2	EA	\$1,500	\$3,000	\$3,000		
CONNECT TO EXISTING WITH TAFFING SELEVE	2	LA	\$1,500	\$3,000	\$3,000		
6" SANITARY SEWER	155	LF	\$44	\$6,820	\$6,820		
STANDARD MANHOLE W/ FRAME & COVER	1	EA	\$3,300	\$3,300	\$3,300		
TANDARD MANTOLE WY FRANCE & COVER	† †	LA	43,300	- 55,500	\$3,300		
SIGNING AND MARKING	1	LS	\$6,000	\$6,000			
RETAINING WALL	3,290	SF	\$20	\$65,800			
NETAINING WALL	3,230	31	720	703,000			
LIGHTING	1	LS	\$20,000	\$20,000			
LANDSCADING	4	1.0	ć20.000	ć20.000	¢20,000		
LANDSCAPING	1	LS	\$30,000	\$30,000	\$30,000		
AS-BUILT PLANS (STORM SEWER SYSTEMS)	1	LS	\$4,000	\$4,000	\$4,000		
AS-BUILT PLANS (STORMWATER MANAGEMENT)	1	LS	\$4,000	\$4,000	\$4,000		
CURTOTAL				dana ass	6470.000		
SUBTOTAL	1			\$680,093	\$472,993		
10% CONTINGENCY				\$68,009	\$47,299		
TOTAL	1			\$748,102	\$520,292		

BY SEALING THE PLANS, THE DESIGN PROFESSIONAL HEREBY CERTIFIES THAT THE FOREGOING ESTIMATE REFLECTS THE CURRENT IMPROVEMENT COSTS OF THIS PROJECT.

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US OPERATIONS, LLC

SHEET C-000 OF 

ADAM T. ROGERS Lic. No. 0406001810 🌏 06/14/2016 🤾

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1.800.552.7001

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