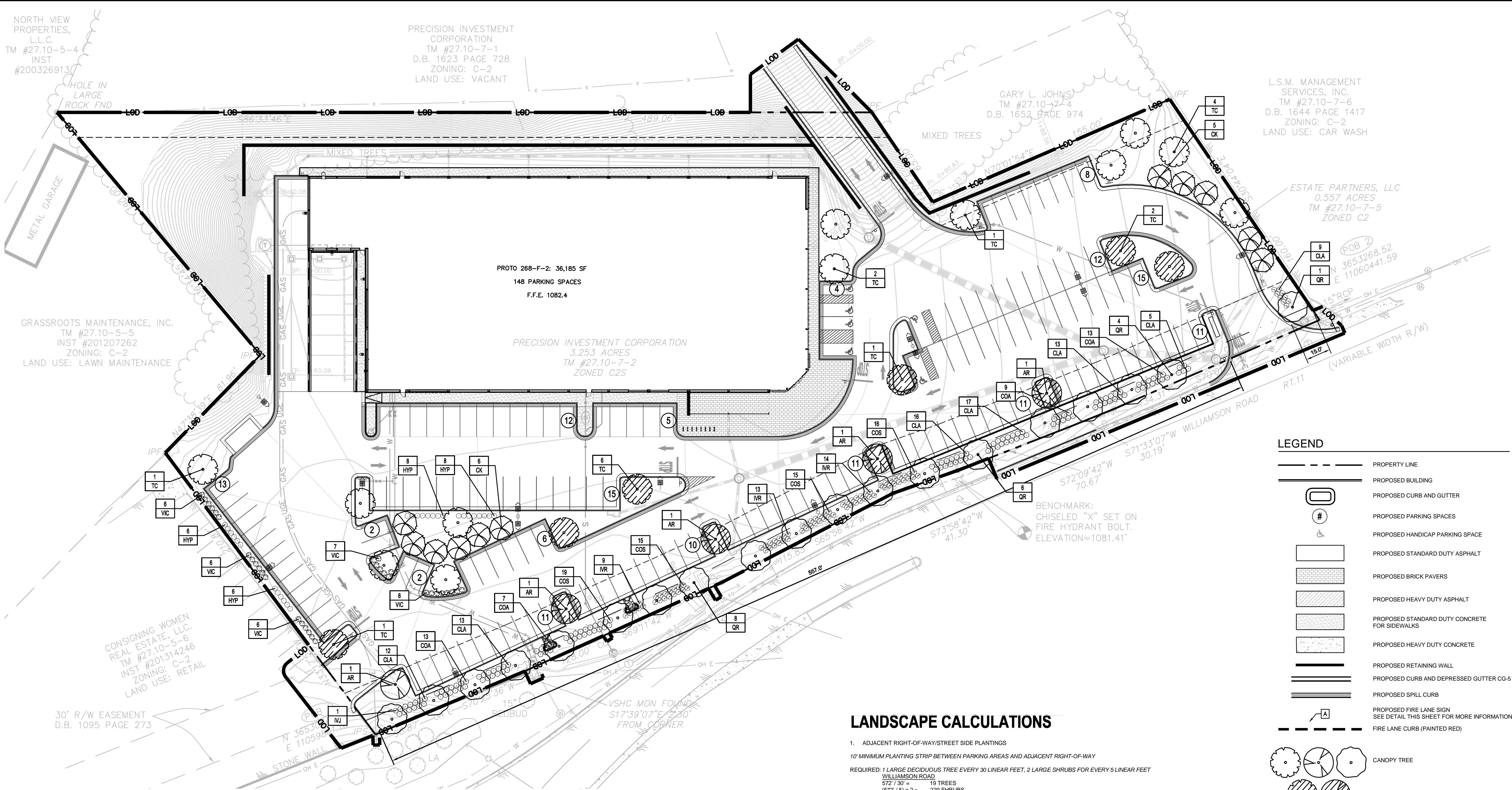


Plotted By: Anthony, Ryan Sheet: Sht:ROANOKE (HOLLINS) Layout: C-600 LANDSCAPE PLAN June 14, 2016 06:44:12pm K:\BAL-CIV\110424023 Roanoke (Hollins), VA\CAD\PlanSheets\C-600 LANDSCAPE PLAN.dwg
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LANDSCAPE CALCULATIONS

1. ADJACENT RIGHT-OF-WAY/STREET SIDE PLANTINGS

10' MINIMUM PLANTING STRIP BETWEEN PARKING AREAS AND ADJACENT RIGHT-OF-WAY

REQUIRED: 1 LARGE DECIDUOUS TREE EVERY 30 LINEAR FEET, 2 LARGE SHRUBS FOR EVERY 5 LINEAR FEET
WILLIAMSON ROAD
572' / 30' = 19 TREES
(572' / 5) x 2 = 228 SHRUBS

PROVIDED: AS SHOWN ON PLAN
WILLIAMSON ROAD
TOTAL = 19 TREES
TOTAL = 228 SHRUBS

2. PARKING AREAS

1 LANDSCAPE ISLAND PER 15 PARKING SPACES, 1 TREE PER ISLAND

ISLANDS HAVE BEEN PROVIDED AS SHOWN ON PLAN, 1 TREE PER ISLAND HAS BEEN PROVIDED EXCEPT WHERE UTILITY CONFLICTS OCCUR

REQUIRED: (148 PS / 15) = 10 INTERIOR PARKING LOT TREES
PROPOSED: AS SHOWN ON PLAN = 10 INTERIOR PARKING LOT TREES

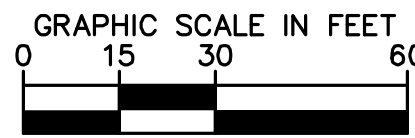
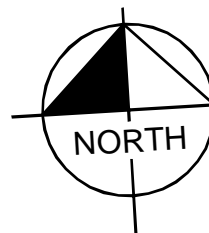
3 LARGE SHRUBS FOR EVERY 15 PARKING SPACES SHALL BE PLANTED AROUND THE PERIMETER OF THE PARKING AREA

REQUIRED: (148 PS / 15) x 3 = 30 SHRUBS
PROVIDED: AS SHOWN ON PLAN = 30 SHRUBS

3. CROWN COVERAGE

THE COVERAGE OF TREES AND SHRUBS TO BE PLANTED SHALL OCCUPY AT LEAST 35% OF THE TOTAL LAND AREA OF THE PROPOSED PROJECT, SHRUBS SHALL NOT EXCEED 25% OF TOTAL CROWN COVERAGE ALLOWANCE

REQUIRED: 165,964 SF x 35% = 58,088 SF TOTAL CROWN COVERAGE
58,088 SF x 25% = 14,522 SF MAX SHRUB ALLOWANCE TOWARD TOTAL CROWN COVERAGE
PROVIDED: 42 LARGE TREES @ 1,250 SF EACH = 52,500 SF
11 SMALL TREES @ 250 SF EACH = 2,750 SF
290 LARGE SHRUBS @ 10 SF EACH = 2,900 SF
TOTAL CROWN COVERAGE = 58,150 SF



MISS UTILITY OF VIRGINIA

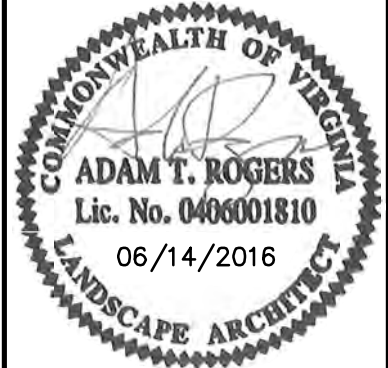


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NO.	REVISIONS	DATE	BY

Kimley»Horn

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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
110424023	06/14/2016	AS SHOWN	CT	CW	AR

LANDSCAPE PLAN

LIDL GROCERY

HOLLINS

PREPARED FOR
LIDL US OPERATIONS, LLC

VA
ROANOKE COUNTY

SHEET NUMBER
C-600