



County of Roanoke

DEPARTMENT OF COMMUNITY DEVELOPMENT

DIRECTOR, ARNOLD COVEY
DEPUTY DIRECTOR OF DEVELOPMENT SERVICES, TAREK MONEIR
DEPUTY DIRECTOR OF PLANNING, PHILIP THOMPSON

BUILDING PERMITS/ INSPECTIONS
DEVELOPMENT REVIEW
ENGINEERING
ENVIRONMENTAL MANAGEMENT
PLANNING & ZONING
TRANSPORTATION

January 15, 2016

Mr. Dean Cranwell
Heritage Village at Hollins, LLC
5310 Valley Park Dr, Suite 100
Roanoke, VA 24019

Re: Heritage Village at Hollins
Project #: SP-1500572
Conditional Site Plan Approval/
Preconstruction Meeting Requirements

Dear Mr. Cranwell:

Plans for the referenced project received by our office have been reviewed and it appears that all applicable standards and specifications have been met as the Virginia Licensed Professional Engineer has acknowledged by stamping and signing the plans. No building plan approval is given with this site plan approval letter. A building permit is required for all new and/or revised structures shown on this site plan. If you have not already submitted building plans to Roanoke County, you may do so. All reviewing entities must approve the site plan prior to issuance of any permits by Roanoke County. Roanoke County requires the developers, engineers and/or surveyors to provide an electronic copy of the stamped, approved site plan in a *.tif or .pdf file format named after the project prior to scheduling the preconstruction meeting. Please refer to the Development Review Policy for procedure.

A preconstruction meeting is required prior to any land disturbance occurring. To schedule a preconstruction meeting, all items below must be received in our office at least two (2) working days prior to the meeting being scheduled. Once all items are submitted, please contact Community Development – Office of Development Review to schedule this meeting. Final site plan approval will be given when the Erosion and Sediment Control Permit is issued and the approved site plans are distributed at this meeting. Please address or submit the following:

1. The developer/owner is responsible for acquiring and submitting all local, state and federal permits and any other permits and approvals required for the development of this project.
2. The developer/owner is responsible for notifying the Office of Development Review within 72 hours of an address change or a change to the Responsible Land Disturber.
3. The Department of Environmental Quality (DEQ) requires any land disturbance of one acre or greater to obtain a VSMP General Permit through our office. **The remaining \$237.00**

VSMP fees shall be submitted to Roanoke County for processing upon receiving your conditional site plan approval in order for Roanoke County to submit the request to DEQ for your coverage letter. The previously submitted registration statement has been reviewed and comments need to be addressed. Please submit the revised registration statement for review and approval. Coverage under the VSMP General Permit must be obtained before beginning any land disturbance on the property. A copy of the VSMP General Permit, the coverage letter and the SWPPP must be kept on the job site at all times and the VSMP General Permit Coverage letter must be posted. **A copy of the coverage letter and the SWPPP must be submitted to the County after conditional plan approval but before a preconstruction meeting can be scheduled or any permits issued.**

4. The signature sets of site plans cannot be processed without the owner/developer and the design engineer signing the Roanoke County Cover Sheet and all other pertinent pages as applicable.
5. The name, address, telephone number, certificate number and expiration date of the Virginia certified Responsible Land Disturber (RLD) must be submitted to Community Development – Office of Development Review. The RLD shall attend the preconstruction meeting.
6. Agreements:
 - ◆ The Roanoke County Erosion and Sediment Control Agreement must be signed, submitted to and approved by Community Development - Office of Development Review for review and approval.
 - ◆ The Roanoke County Site Agreement must be signed, submitted to and approved by Community Development - Office of Development Review for review and approval.
 - ◆ The *signed* Roanoke County Stormwater Management/BMP Facilities Maintenance Agreement with an 8 ½ x 11 or 14” plat exhibit attached showing the facility easement(s) and the access easement(s) needs to be submitted to and approved by Community Development - Office of Development Review.
7. Sureties:
 - ◆ The surety amount for the Site Agreement is **\$906,808.00** (Roanoke County does not bond “Mobilization/Bonds/Insurance” as shown in the Quantity and Cost table on the cover sheet).
 - ◆ The surety amount for the Erosion & Sediment Control Agreement is **\$103,140.00**.

The Roanoke County Bonding Policy requires a bond, a letter of credit or a cash escrow to be submitted for this surety. Roanoke County has specific forms for the letter of credit and the bond. These documents can be found on the Roanoke County website under Community Development, Development Services, Online Documents and Forms.

8. Submit six (6) complete copies of the site plan to be stamped approved and distributed in the preconstruction meeting. These will be distributed as follows: 1 – FTP website (prior to preconstruction meeting); 1 – Roanoke County; 2 – WVWA; 2 – Developer. If you require additional sets, please submit them when you submit the preconstruction sets.

9. Pursuant to Section 30-93 of the Roanoke County Zoning Ordinance, a Sign Permit is required for any sign(s) displayed at your business. Please contact this department for information on how to apply for a Sign Permit at (540) 772-2068.

Once these items are addressed, please contact this office to schedule a preconstruction meeting to be held in Conference Room 215 of the Roanoke County Administration Center. Have your grading (RLD) and/or utility contractor attend this meeting with you.

Provided all fees are paid and all other items are submitted with the exception of sureties and agreements, the approval of this development plan by Roanoke County is valid subject to conditions noted in Virginia State Code §15.2-2209.1 and §15.2-2261 and Roanoke County Code §23-3.1(b), as amended. The County reserves the right to require current cost estimates and reevaluate the bonding amounts if significant time has elapsed between the plan approval and the request for the preconstruction meeting to be scheduled.

The project will be considered null and void five (5) years from the date of this approval letter or any future date approved by the state code, if no land disturbance and/or construction have begun. If this occurs, further review will require resubmission of plats and plans for review and approval under current standards.

If you should have any questions regarding the comments in this letter, please do not hesitate to call me at (540) 772-2034.

Sincerely,



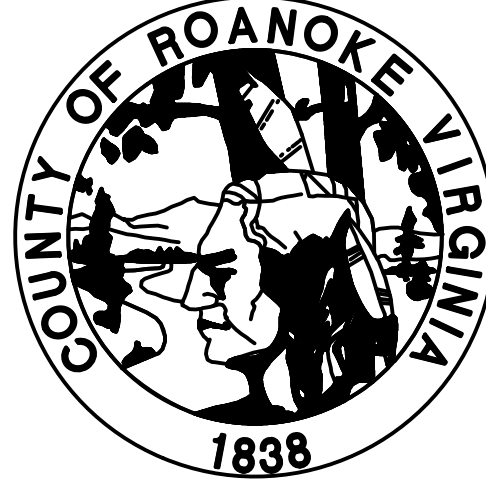
Angie Gwynn, P.E.
Principal Development Engineer

pc: Kevin Heath, P.E., The Lane Group
Roanoke County Review Team
VDOT – Salem District Transportation & Land Use Dept.
WVWA

GENERAL NOTES:

PRE-CONSTRUCTION MEETING AND CONSTRUCTION COMMENCEMENT

- 1. All construction methods and materials shall conform to the Construction Standards and Specifications of Roanoke County, the Western Virginia Water Authority, and the Virginia Department of Transportation.
2. Stormwater Management Agreements with an attached 8 1/2" x 11" or 8 1/2" x 14" plat must be approved and recorded prior to the pre-construction meeting.
3. Once all required items are submitted to the County of Roanoke, the developer must contact the Development Review Coordinator to indicate that a pre-construction meeting needs to be scheduled.
4. All land disturbing projects that require approval of an erosion and sediment control plan, grading or clearing permit shall require that the applicant provide the name of an individual who will be responsible for land disturbing activities and that this individual hold a Responsible Land Disturber (RLD) Certificate from the Department of Environmental Quality.
5. It is the responsibility of the owner/developer to notify the certified Responsible Land Disturber and the Utility Contractor to attend the pre-construction meeting.
6. The Development Review Coordinator will schedule the pre-construction meeting with the County Review Engineer, the County Inspector, and the Western Virginia Water Authority and the Town of Vinton Public Works Department if applicable.
7. An approved set of plans, Storm Water Pollution Prevention Plan (SWPPP), VSMF coverage letter, and all permits must be available at the construction site at all times.
8. The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
9. The project engineer will inform the owner/developer verbally and in writing of the County's obligation to perform inspections on site. Everyone in the meeting will be required to sign a pre-construction checklist indicating their knowledge of Roanoke County's obligation to perform inspections on site.
10. The Erosion Control Permit or Combined Erosion Control & VSMF Permit is given to the developer at this pre-construction meeting.
11. Notify the County of Roanoke prior to beginning installation of ESC measures. The County will inspect initial installations to ensure compliance with approved plan prior to start of grading. The developer SHALL contact the project inspector 24 hours before beginning any grading or construction on the property.
12. County inspectors must inspect storm drain / stormwater management / BMP installations during the process of installation. Please contact the site inspector 24 hours in advance.
13. All work shall be subject to inspection by Roanoke County, the Western Virginia Water Authority and the Virginia Department of Transportation Inspectors.
14. Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001 or VA 811.
15. The 100 year Floodway shall be staked prior to any construction.
16. Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer at all times of construction.
17. The Department of Community Development shall be notified when a spring is encountered during construction.
18. Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site.
19. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets or rights of ways. It is the contractor's responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
20. Plan approval in no way relieves the developer or contractors of the responsibilities contained within the erosion and sediment control or stormwater management policies.
21. Field construction shall honor proposed drainage divides as shown on plans.
22. Field corrections shall be approved by the Roanoke County Engineering Division and/or the Western Virginia Water Authority and the Professional of Record, prior to such construction.
23. The developer or contractor shall supply the County and the Western Virginia Water Authority with correct As-Built plans before final acceptance.
24. Plan approval by Roanoke County does not guarantee issuance of any permits by the Virginia Department of Transportation.
25. A permit must be obtained from the Virginia Department of Transportation, Salem Residency Office prior to construction in the highway right-of-way.
26. The preliminary pavement designs should be based on a predicted sub-grade CBR value of 7.0 and with a Resiliency Factor (RF) of 2.0 as shown in Appendix I of the 2000 Virginia Department of Transportation Pavement Design Guide for Subdivision and Secondary Roads. The sub-grade soil is to be tested by an independent laboratory and the results submitted to the Virginia Department of Transportation prior to base construction. Should the sub-grade CBR value and/or the RF value be less than the predicted values, additional base material will be required in accordance with Departmental specifications. Refer to the same manual as the number and locations of the required soil samples to be tested. All pavement designs shall be submitted to the Department for review and approval. The sub-grade shall be approved by the Virginia Department of Transportation prior to placement of the base. Base shall be approved by the Virginia Department of Transportation for depth, template, and compaction before the surface is applied.
27. Standard guardrail with safety end sections may be required on fills or in areas where hazards exist as deemed necessary. After completion of rough grading operations, the County Engineer and Virginia Department of Transportation shall be contacted to schedule a field review. Where guard rail is warranted, the standard shoulder width shall be provided and the guard rail shall be installed in accordance with the 2001 VDOT Road and Bridge Standards as part of this development.
28. Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.
29. All traffic devices shall be in accordance with current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
30. All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.



HERITAGE VILLAGE AT HOLLINS, LLC. SITE DEVELOPMENT PROJECT ROANOKE COUNTY, VIRGINIA

NAME OF DEVELOPMENT: HERITAGE VILLAGE AT HOLLINS, LLC. MAGISTERIAL DISTRICT(S): HOLLINS. OWNER (name, address, telephone): HERITAGE VILLAGE AT HOLLINS, LLC, 110 DRAPER ROAD, BLACKSBURG, VIRGINIA 24060; 540.344.2017. DEVELOPER (name, address, telephone): HERITAGE VILLAGE AT HOLLINS, LLC, 110 DRAPER ROAD, BLACKSBURG, VIRGINIA 24060; 540.344.2017. ENGINEER, ARCHITECT OR SURVEYOR (name, address, telephone): THE LANE GROUP, INC., 119 NORTH MAIN STREET, GALAX, VIRGINIA 24333. TAX MAP NO(S): 027 19-08 04 00-0000, 027 11-01-13 00-0000, 027 11-01-14 00-0000, 027 11-01-15 00-0000, 027 11-01-16 00-0000, 027 11-01-17 00-0000, 027 11-01-18 00-0000, 027 11-01-19 00-0000, 027 11-01-20 00-0000, 027 11-01-21 00-0000, 027 11-01-22 00-0000, 027 11-01-23 00-0000, 027 11-01-23 01-0000.

WATER NOTES

- 1. All water facilities shall be constructed according to the Western Virginia Regional Design and Construction Standards (Latest Edition).
2. A minimum cover of three (3) feet is required over proposed lines.
3. Contractor shall be responsible for locating and uncovering valve vaults after paving and adjustment to final grade if necessary.
4. All existing utilities may not be shown in their exact location. The contractor shall comply with the (State Water Works Regulations, Section 12VAC5-590-1150, where lines cross.
5. All trenches in existing or future highway right-of-ways shall be compacted according to Virginia Department of Transportation standards.
6. Lines shall be staked prior to construction.
7. Water main shall be minimum Class 350 Ductile Iron in accordance with AWWA C151 or DR-14 PVC in accordance with AWWA C-900.
8. Ductile Iron Pipe in accordance with the Western Virginia Regional Design and Construction Standards shall be required for all pipe with a working pressure equal to or greater than 100 p.s.i.

SEWER NOTES

- 1. All sanitary sewer facilities shall be installed according to the Western Virginia Regional Design and Construction Standards. (Latest Edition).
2. A minimum cover of three (3) feet is required over proposed lines.
3. Contractor shall be responsible for locating and uncovering all manholes after paving. Manhole tops shall be adjusted to grade if necessary.
4. All existing utilities may not be shown in their exact location. The contractor shall comply with (State Water Works Regulations, Section 12VAC5-590-1150, where lines cross.)
5. All trenches in existing or future rights-of-way shall be compacted according to Virginia Department of Transportation standards.
6. Lines shall be staked prior to construction.

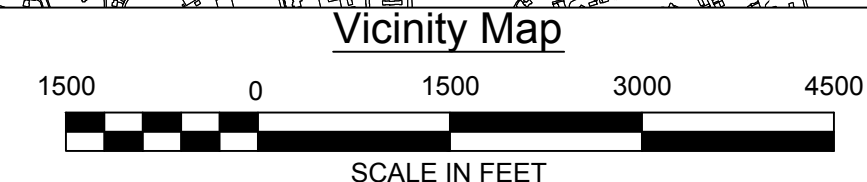
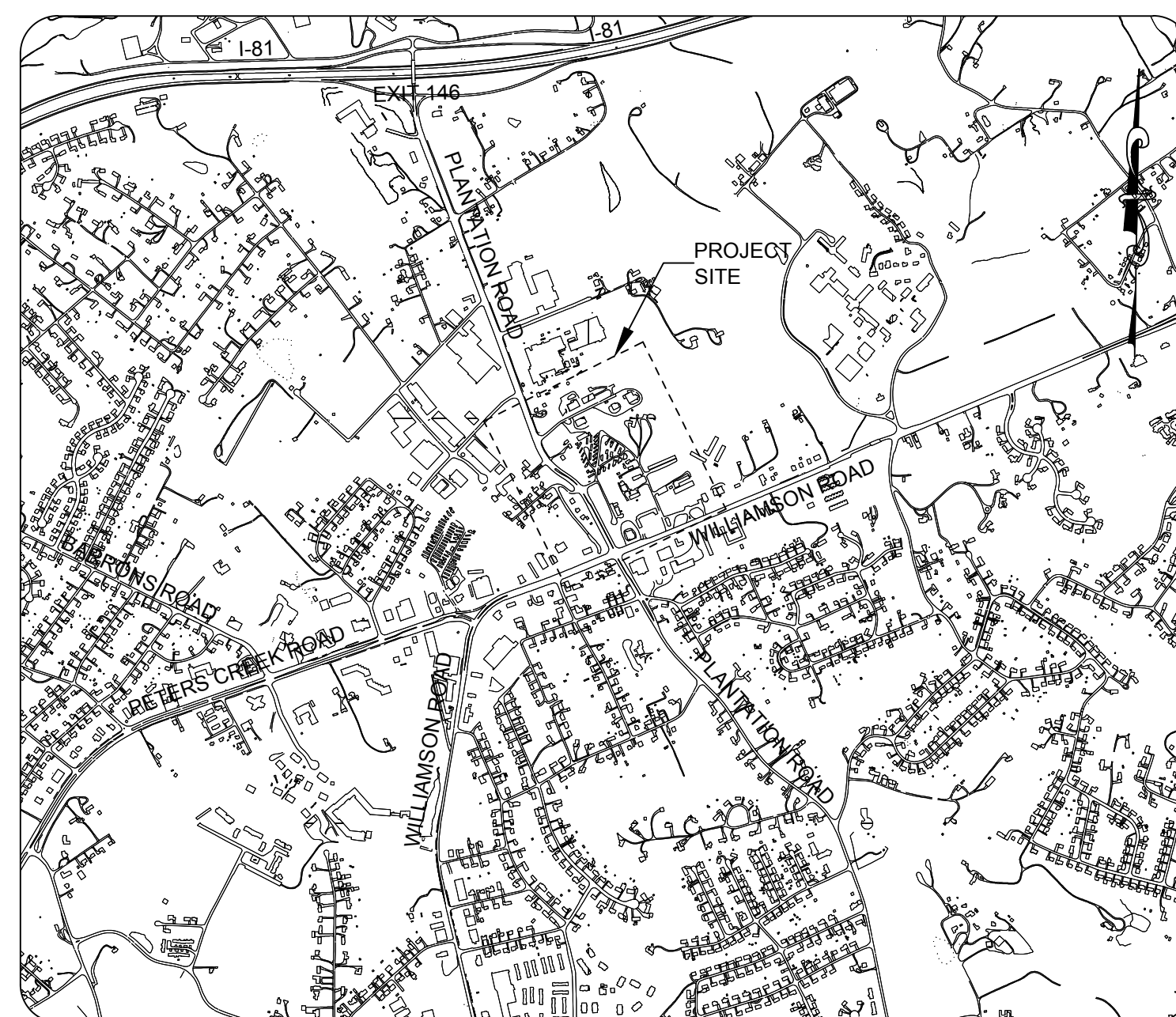
PLAN SHEET INDEX:

- C001 - COVER
C002 - PROPERTY BOUNDARY SURVEY & ZONING INFORMATION
C003 - GENERAL CONSTRUCTION NOTES & LEGEND
C101 - EXISTING SITE CONDITIONS
C102 - DEMOLITION PLAN
C103 - SITE CONSTRUCTION & STORMWATER MANAGEMENT PLAN
C104 - BUILDING SITE GRADING PLAN
C105 - EROSION & SEDIMENT CONTROL PLAN OFFICE SITE - INITIAL PHASE
C106 - EROSION & SEDIMENT CONTROL PLAN ENTIRE SITE - INITIAL PHASE
C107 - EROSION & SEDIMENT CONTROL PLAN OFFICE SITE - LATER PHASE
C108 - EROSION & SEDIMENT CONTROL PLAN ENTIRE SITE - LATER PHASE
C109 - LANDSCAPING PLAN
C110 - ACCESS ROAD & UTILITY IMPROVEMENTS
C111 - ACCESS ROAD & PROFILES
C112 - ACCESS ROAD CROSS SECTIONS
C113 - GRAVITY SEWER & WATER LINE PROFILES
C114 - STORM SEWER PROFILES
C115 - SITE CONSTRUCTION DETAILS
C116 - SITE CONSTRUCTION DETAILS
C117 - STORMWATER MANAGEMENT DETAILS
C118 - WVA STANDARD UTILITY DETAILS & PARKING DETAILS
C119 - WVA STANDARD UTILITY DETAILS
C120 - WVA STANDARD UTILITY DETAILS & BMP PROFILES
C121 - EROSION & SEDIMENT CONTROL DETAILS
C122 - EROSION & SEDIMENT CONTROL DETAILS
C123 - EROSION & SEDIMENT CONTROL & STORMWATER MANAGEMENT PLAN NARRATIVE
C124 - EROSION & SEDIMENT CONTROL & STORMWATER MANAGEMENT PLAN NARRATIVE
C125 - OFFICE BUILDING ARCHITECTURAL ELEVATIONS
C126 - INTERSECTION SIGHT DISTANCES
C127 - TRAFFIC CONTROL PLAN
C128 - TRAFFIC CONTROL PLAN

PRIVATE UTILITIES

Underground utilities installed on private property or in private utility easements and building related storm drains shall be designed and installed per the current edition of the Virginia Uniform Statewide Building Code. Design and installation requirements issued by the Western Virginia Water Authority that meet or exceed the USBC requirements are acceptable for private utilities. All private utilities are to be permitted through and inspected by the Roanoke County Inspections Office. Vaults, valves and other devices installed by or under the control of the Western Virginia Water Authority may not be substituted for the code required devices.

Western Virginia Water Authority Availability letter number: 15-211



SURVEY INFORMATION

Horizontal and vertical control surveys were performed in year: 2014
By: The Lane Group, Inc.
All vertical elevations must be referenced to the National Geodetic Vertical Datum of 1929 or 1988. All horizontal elevations must be referenced to the North American Datum of 1927 or 1983.
Horizontal Datum: NAD83 Vertical Datum: NAVD88
Source of topographic mapping is dated December 9, 2014.

Boundary was performed by Brian M. Waddle, LS dated: December 9, 2014
Benchmark Information: National Geodetic Survey Monument "Hollins" 1958 (PID-GW1356)

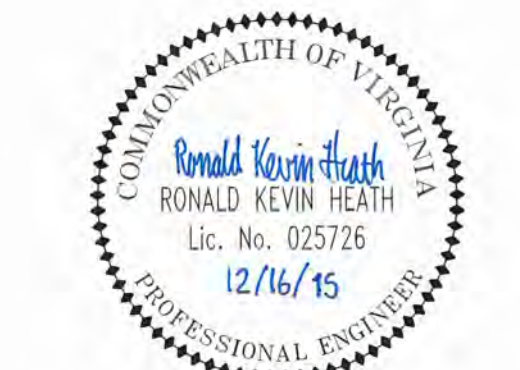
The professional seal and signature certifies the boundary survey and topographic mapping to be accurate and correct.

BENCHMARK TABLE

Table with 6 columns: SYMBOL, NAME, NORTHING, EASTING, ELEVATION, DESCRIPTION. Contains three rows of benchmark data.

Summary table with columns: UNIT, UNIT COST, QNTY, TOTAL COST, VDOT R/W MARSON ROAD BONDED ITEMS, ALL OTHER PROJECT CONSTRUCTION, COMBINED PROJECT TOTALS, ROANOKE COUNTY BONDED ITEMS. Includes sub-totals for various project components like Part A - Access Road Improvements, Part B - Utilities - Off Site, Part C - Demolition, Part D - Earthwork / Grading, Part E - Stormwater BMP's (On-site), Part F - Site Improvements, and Part G - Miscellaneous Construction Costs.

BY SEALING THE PLANS, THE DESIGN PROFESSIONAL ENGINEER HEREBY CERTIFIES THAT THE FOREGOING ESTIMATE REFLECTS THE CURRENT IMPROVEMENT COSTS OF THIS P



3rd Review

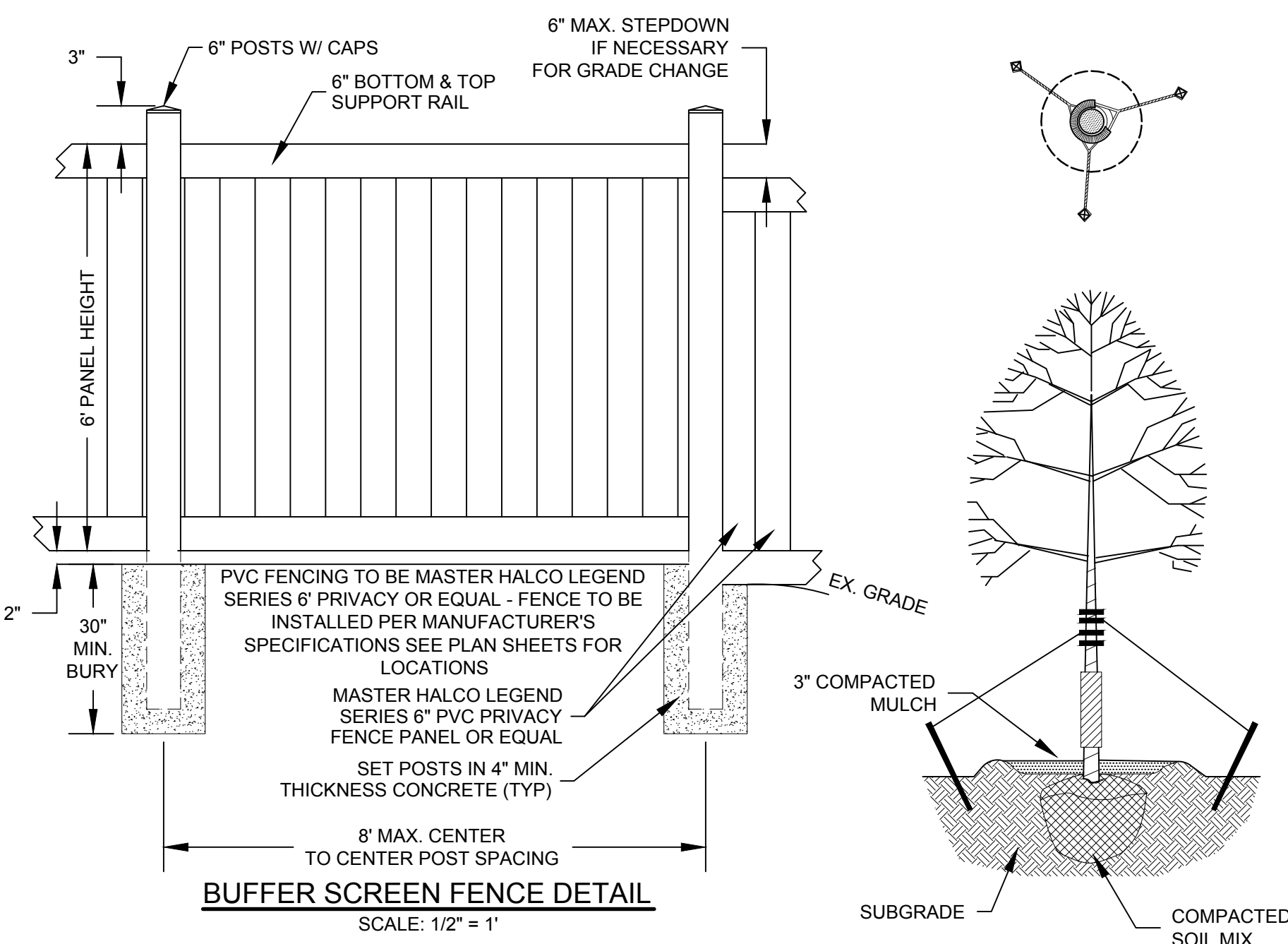
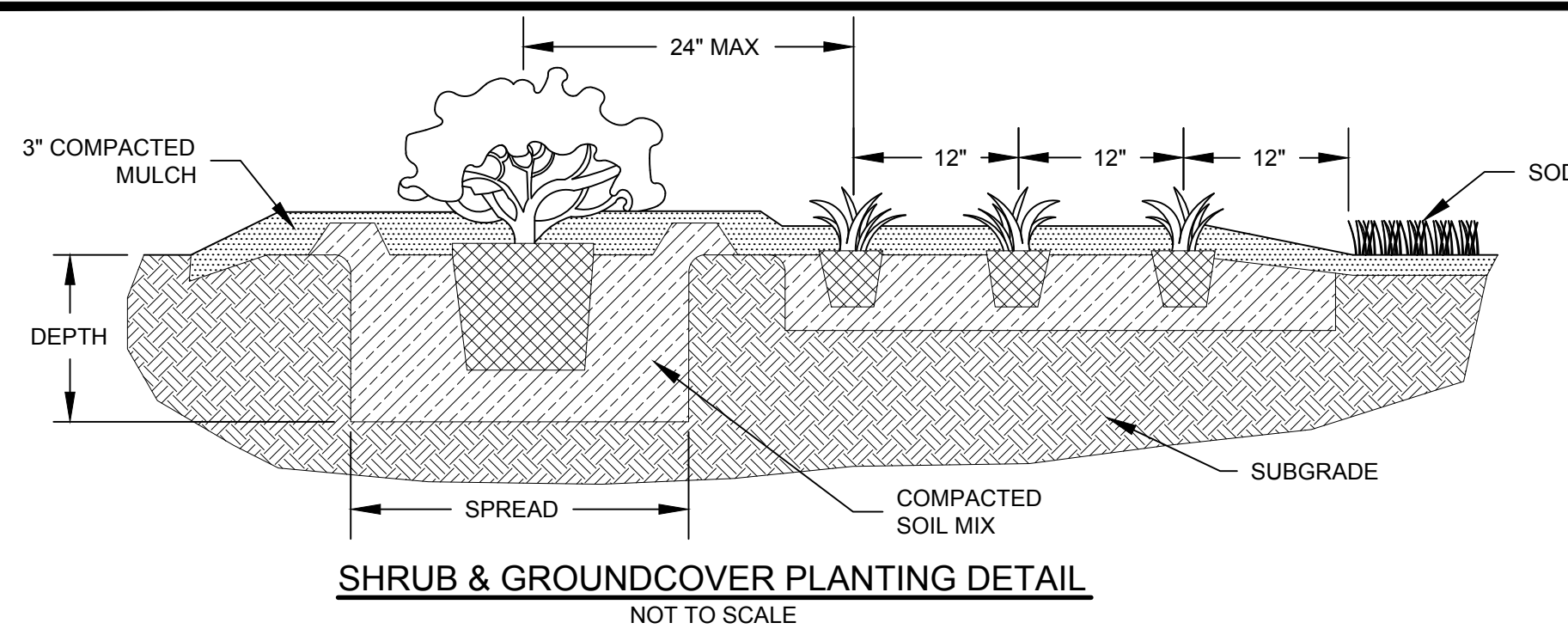
Date Stamp

Approval Stamp

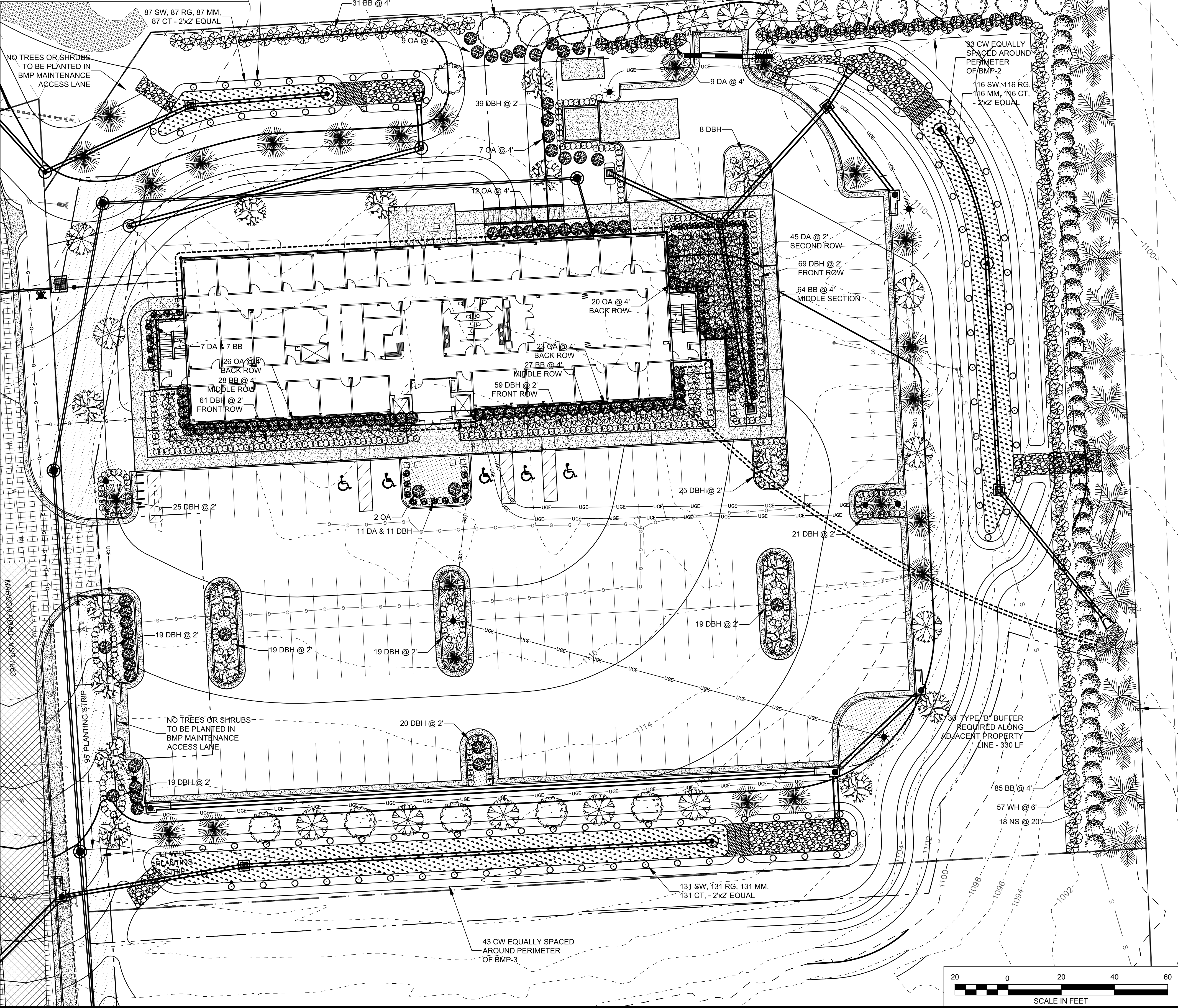
Heritage Village at Hollins, LLC. Site Development Project Marson Road Roanoke County, Virginia

See Sheet C103 for Stormwater Site Statistics Table. See Sheets C103 & C117 for New BMP Information Table.

The Project Engineer shall provide electronic copies of the approved plans to the Development Review Coordinator within 5 working days of the pre-construction meeting. The notes on this sheet shall not be modified.

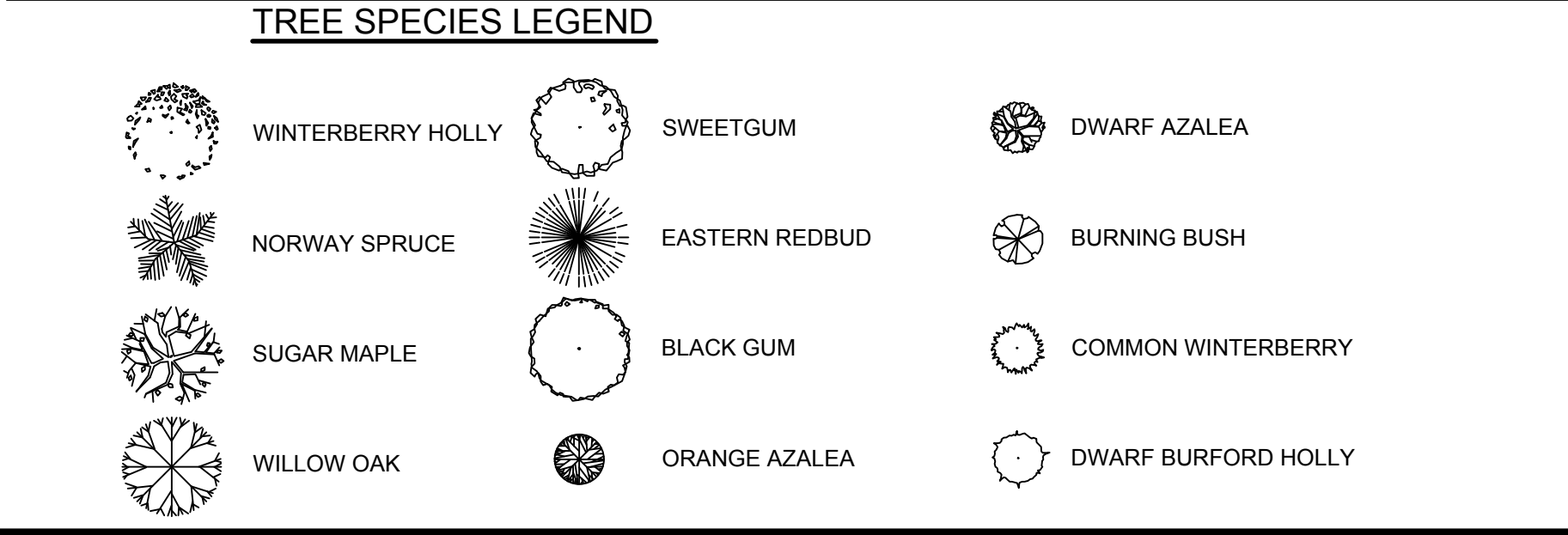


Type	Species On-site	Crown Coverage Allowance (sf/ea)	Number Proposed	Crown Coverage (sf)
Large Deciduous Trees	Sugar Maple		17	21250
	Willow Oak		15	18750
	Sweet Gum	1,250	11	13750
	Black Gum		5	6250
Large Evergreen Trees	Norway Spruce	500	18	9000
	Eastern Redbud	250	24	6000
Small Evergreen Trees		250	0	0
Large Shrubs	Orange Azalea		117	1170
	Burning Bush	10	242	2420
	Winterberry Holly		57	570
	Dwarf Azalea		55	275
Small Shrubs	Common Winterberry		95	475
	Dwarf Burford Holly		433	2165
Total Site Crown Coverage (sf)				82075
Total Site Crown Coverage (Ac)				1.884
Total Site Acreage				2.998
Site Crown Cover Percentage				62.85%



SYM	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SPACING	NOTES
WH	57	ILEX VERTICILLATA	WINTERBERRY HOLLY	1'-9"	1'-9"	EQUAL	3 GAL
NS	18	PICEA ABIES	NORWAY SPRUCE	6'-0"	3'-0"	AS INDICATED	2" CAL
SM	17	ACER SACCHARINUM	SUGAR MAPLE	8'-0"	4'-0"	AS INDICATED	2.5" CAL
WO	15	QUERCUS PHELLOS	WILLOW OAK	8'-0"	4'-0"	AS INDICATED	2.5" CAL
SG	11	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	6'-0"	3'-0"	AS INDICATED	2" CAL
RB	24	CERCIS CANADENSIS	EASTERN REDBUD	6'-0"	3'-0"	AS INDICATED	2" CAL
BG	5	SALIX NIGRA	BLACK GUM	6'-0"	3'-0"	AS INDICATED	2" CAL
OA	117	RHODODENDRON AUSTRINUM	ORANGE AZALEA	1'-9"	1'-9"	EQUAL	2 GAL
DA	55	RHODODENDRON ATLANTICUM	DWARF AZALEA	1'-9"	1'-9"	EQUAL	2 GAL
BB	242	EUONYMUS ALATA	BURNING BUSH	1'-9"	1'-9"	EQUAL	2 GAL
CW	95	ILEX GLABRA	COMMON WINTERBERRY	1'-9"	1'-9"	EQUAL	2 GAL
DBH	433	ILEX BURFORDI NANA	DWARF BURFORD HOLLY	1'-9"	1'-9"	EQUAL	3 GAL
SW	454	PANICUM VIRGATUM	SWITCHGRASS	0'-9"	0'-6"	EQUAL	1 GAL
RG	454	AGROSTIS ALBA	REDTOP GRASS	0'-9"	0'-6"	EQUAL	1 GAL
MM	454	CALTHA PALUSTRIS	MARSH MARIGOLD	0'-9"	0'-6"	EQUAL	1 GAL
CT	454	SCIRPUS AMERICANUS	COMMON THREE SQUARE	0'-9"	0'-6"	EQUAL	1 GAL

NOTE: PLANT QUANTITIES ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE PLANS MUST BE COMPLETED AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING PLANT TOTALS. ALL DISTURBED AREAS OF THE SITE NOT COVERED BY BUILDING OR PAVING AND NOT OTHERWISE PLANTED SHALL BE SODED WITH GRASS.



THE LANE GROUP
119 NORTH MAIN STREET • GALAX, VA 24333
P: 276.236.4588 • F: 276.236.0458
WWW.THELANEGROUPINC.COM
BIG STONE GAP • VA • CHILHOWIE • VA • GALAX, VA

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**HERITAGE VILLAGE
AT HOLLINS, LLC.
SITE DEVELOPMENT PROJECT
ROANOKE COUNTY, VIRGINIA**

**LANDSCAPING
PLAN**

DATE: 15 JULY 2015
SHEET: **C109**
DRAWN BY: MSA CHECKED BY: RKH
PROJECT NO. 1481
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